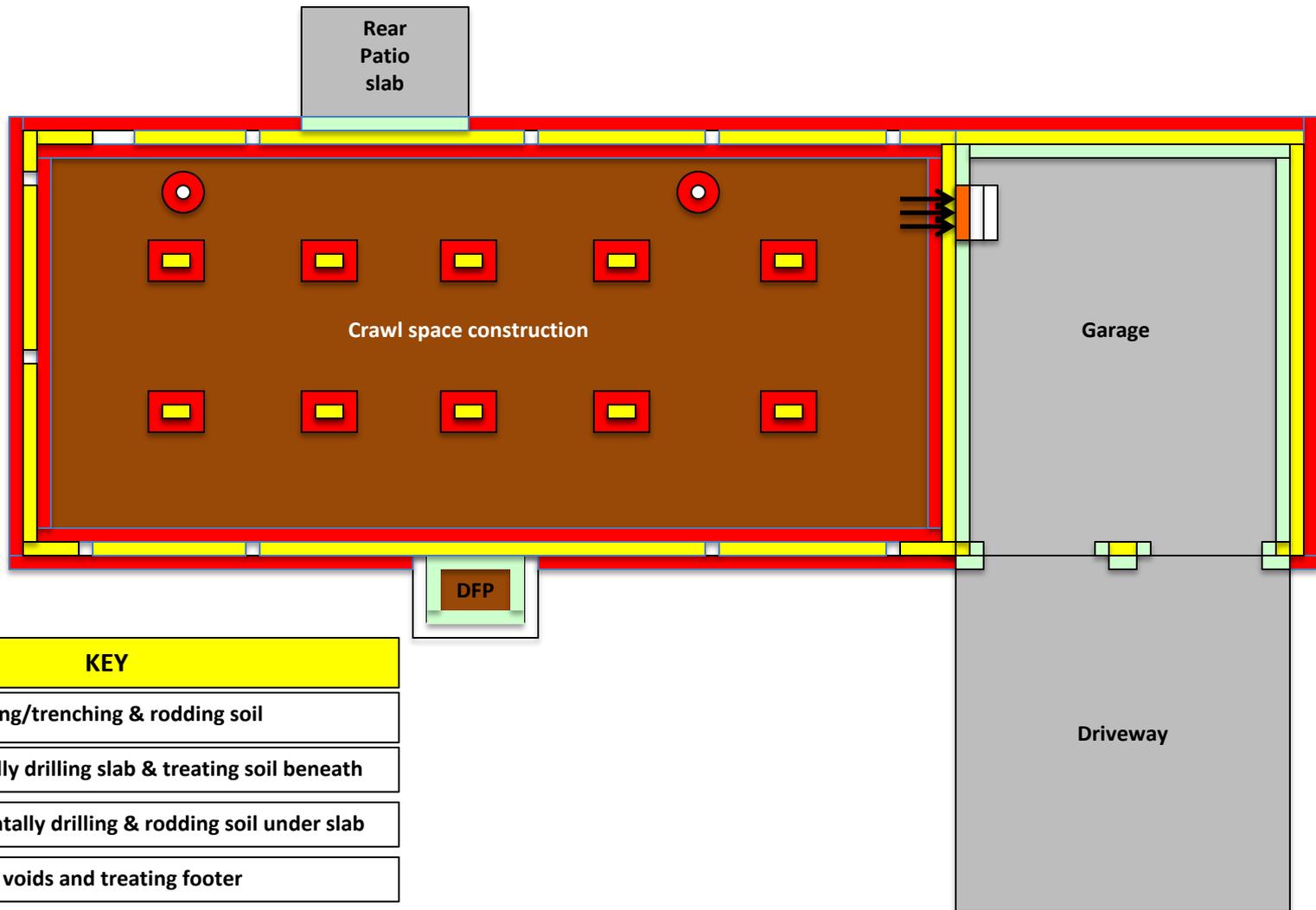
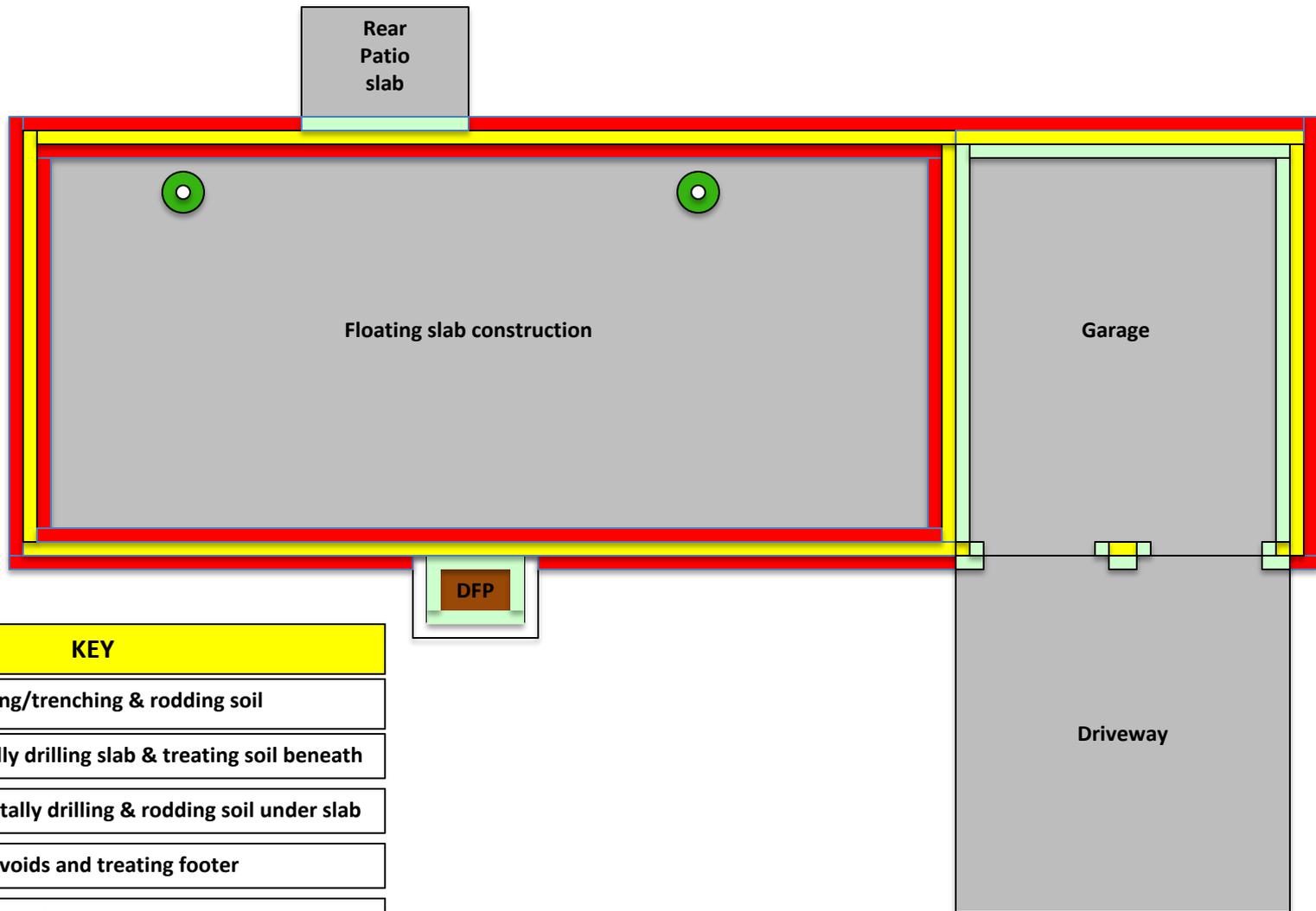


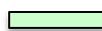
# Comprehensive soil treatment of a crawl space construction with a hollow block foundation wall



# Comprehensive soil treatment of a floating slab construction with a hollow block foundation wall



## KEY

-  Trenching/trenching & rodding soil
-  Vertically drilling slab & treating soil beneath
-  Horizontally drilling & rodding soil under slab
-  Drilling voids and treating footer
-  Treating bath trap areas

# ***What is a Comprehensive Soil Treatment?***

- The definition of a Comprehensive Soil Treatment in the Rules of the Structural Pest Control Commission is:

“the treatment of soils and masonry voids at or near ground level establishing a chemical treatment zone to protect a structure from attack from termites consistent with the requirements of Rule 620-6-.04(1)(a).”

- In all practicality, it’s the treatment of all potential points of termite entry to a structure for the prevention or the control of subterranean termites.

## Rule 620-6-.04 Control Measures

“Control Measures” means the application of any and all measures for the purpose of controlling termites, powder post beetles, wood boring beetles, wood destroying fungi, and any other wood destroying organism in structures and/or adjacent outside areas. Such measures shall be made with applications and installations consistent with label requirements. Minimum adequate control measures shall be as set forth below:

- (1) Minimum adequate subterranean termite control treatment for post construction shall include the following:
  - (a) For pesticide products applied as a comprehensive soil termiticide application consistent with registered label directions:

# The Official Waiver

of the Georgia Minimum Treatment Standards for the control of Subterranean Termites

- Before we go over the Rules that regulate a Comprehensive soil treatment, you need to understand that any of the following treatment requirements that cannot be met or that the customer does not wish to be performed may be WAIVED by the customer and not be performed.
- The latest edition of the Official Waiver form must be used to waive any treatment standard that cannot be performed or that the customer does not wish to be performed.
- The Official Waiver form needs to be properly executed and signed by the property owner or their agent to be valid.

# Proper Completion of the Official Waiver form

- List the name of your company on the line provided
- List the address of your company on the line provided
- List the name of the owner of the property on the line provided
- List your name on the your certification/registration card on the line provided
- List the address of the structure to be treated on the line provided (Note: A separate Official Waiver form is required for each individual structure. Reproductions of the Official Waiver for multiple structures is not acceptable.)
- List the Phone # of the Property Owner/ Agent

**OFFICIAL WAIVER**  
of the Georgia Minimum Treatment Standards for the Control of Subterranean Termites:

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**CONDITIONS GOVERNING THE USE OF THE OFFICIAL WAIVER OF THE MINIMUM TREATMENT STANDARDS FOR THE CONTROL OF SUBTERRANEAN TERMITES**

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2. The Official Waiver of the Minimum Treatment Standards for the Control of Subterranean Termites is not to be used to bypass the minimum treatment standards nor is it used to notify any agency of government that a termite treatment has been completed. For defined post construction soil treatment and preconstruction soil treatment, only items #1, 2 and 3 are applicable.
3. By signing this document the property owner agent acknowledges that the property identified will not receive a complete minimum treatment. Signing this document does not affect the terms of any guarantees between the property owner and the pest control company.
4. Each "no" must be explained in detail in the area provided on this document as to specifically what areas of the structure do not meet the treatment standards and why it is not possible to meet these treatment standards. Additional space is provided below.
5. All sections of this document must be filled out completely. Failure to comply with this requirement or failure to provide the explanation required in "Condition #4" above will constitute a violation involving misuse of this form and may render it void.

Name of Company \_\_\_\_\_  
 Address of Company \_\_\_\_\_  
 Owner of Property \_\_\_\_\_  
 Inspector name and certification registration number \_\_\_\_\_  
 Address of Structure Treated - (Note: A separate Official Waiver is required for each individual structure. Reproductions of the Official Waiver for multiple structures is not acceptable) \_\_\_\_\_  
 Phone Number of Property Owner/Agent \_\_\_\_\_

Indicate with a check mark those items that do **NOT** meet the minimum treatment standards.

TERMITE CONTROL	
<p><b>SOIL TREATMENTS</b> - Note: For defined post construction soil treatment and preconstruction soil treatment, only items # 1, 2, 3 are applicable.</p> <p>Type of Treatment: Check one  <input type="checkbox"/> Comprehensive post construction soil treatment  <input type="checkbox"/> Defined post construction soil treatment  <input type="checkbox"/> Pre-construction soil treatment            Alternate Application Technique <input type="checkbox"/> Yes</p>	<p><b>Non Soil Pesticide, Device, Bait or Boring System</b> - Note: all these apply to both post construction and pre-construction applications.</p> <p>Date Job Completed _____ NO</p> <p>1. All debris removed _____            2. Wooden contacts removed _____            3. Crawlspace clearance 18 inches or greater _____            4. Barrier or baiting system installed consistent with label directions _____</p>
<p>Date Job Completed _____ NO</p> <p>1. All debris removed _____            2. Wooden contacts removed or isolated _____            3. Crawlspace clearance 18 inches or greater _____            4. Termite tunnels removed _____            5. Foundations adequately trenched, rodded and treated _____            6. Voids adequately drilled treated _____            7. Earth filled porches adequately drilled treated _____            8. Contiguous slabs adequately drilled treated _____            9. Slabs at/above grade adequately drilled treated _____            10. Monolithic slabs adequately treated _____</p>	

Explain in detail what areas of the structure do not meet treatment standards and why it is not possible to meet these treatment standards. Also, attach a graph indicating the area(s) that were not treated to minimum standards. Failure to attach a graph and provide a detailed written explanation will void this document. Use other side if necessary. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature of Property Owner/Agent \_\_\_\_\_ Date \_\_\_\_\_

Revised 10/17 - Replaces all previous editions

# Proper Completion of the Official Waiver form

- Check the Type of Treatment (Comprehensive post construction soil treatment, Defined post construction soil treatment or Pre-construction soil treatment). If you performed an Alternate Application Technique, check the Yes box.
- In the minimum treatment standards section, make a check mark in the NO box for each of the treatments that do not meet the minimum standards
- Note that with a Comprehensive soil treatment, any of the treatment standards that cannot be performed may be waived.

Reference A: Official Waiver Form

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Indicate with a check mark those items that do NOT meet the minimum treatment standards.

TERMITE CONTROL	
<p><b>SOIL TREATMENTS</b> - Note: For defined post-construction soil treatment and pre-construction soil treatment, only item # 1, 2, 3 are applicable.</p> <p>Type of Treatment: Check one  <input type="checkbox"/> Comprehensive post construction soil treatment  <input type="checkbox"/> Defined post construction soil treatment  <input type="checkbox"/> Pre-construction soil treatment            Alternate Application Technique <input type="checkbox"/> Yes</p>	<p><b>Non Soil Treatments, Service, Bait, or Baiting Systems</b> - Note: all items pertain to both post-construction and pre-construction applications.</p> <p>Date Job Completed: _____ NO</p> <p>1. All debris removed _____            2. Wooden contacts removed _____            3. Crawlspace clearance 18 inches or greater _____            4. Barrier or baiting system installed consistent with label directions _____</p>
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Explicitly detail what areas of the structure do not meet treatment standards and why it is not possible to meet these treatment standards. Also, attach a graph indicating the area(s) that were not treated to minimum standards. Failure to attach a graph and provide a detailed written explanation will void this document. Use other side if necessary. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature of Property Owner/Agent: \_\_\_\_\_ Date: \_\_\_\_\_

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## What do I do if an Item other than Item #1, #2 and #3 needs to be “waived” to perform a Defined soil treatment or a Preconstruction soil treatment?

- If any of the minimum treatment standards (**other than Item #1, #2 and #3** on the Official Waiver form) of a Defined post construction soil treatment or a Preconstruction soil treatment cannot be performed, the Defined post construction soil treatment or the Preconstruction soil treatment could not be made.
- Instead, a Comprehensive post construction soil treatment or a Bait system treatment could be made. Any minimum treatment standard of a Comprehensive post construction soil treatment or a Bait system treatment that cannot be performed may be “waived” using the most recent revision of the Official Waiver form.

# Proper Completion of the Official Waiver form

- If you sell a Warranty only contract and any of the minimum treatment standards of the treatment you have selected to make at the first sign of termite infestation cannot be performed, make a check mark on the “NO” line of the treatment standard/s that can’t be performed.
- In addition, you need to write the words “Warranty only contract” on the Date Job Completed” line.

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<p>Date Job Completed: <b>Warranty only contract</b> <b>NO</b></p> <ol style="list-style-type: none"> <li>All debris removed _____</li> <li>Wooden contacts reserved or insulated _____</li> <li>Crawl space clearance 18 inches or greater _____</li> <li>Termite mounds removed _____</li> <li>Foundations adequately treated/rodled and treated _____</li> <li>Voids adequately drilled/treated _____</li> <li>Earth filled porches adequately drilled/treated _____</li> <li>Contiguous slabs adequately drilled/treated _____</li> <li>Slabs at/above grade adequately drilled/treated _____</li> <li>Masonry slabs adequately treated _____</li> </ol>	

Explain in detail what areas of the structure do not meet treatment standards and why it is not possible to meet these treatment standards. Also, attach a graph indicating the area(s) that were not treated to minimum standards. Failure to attach a graph and provide a detailed written explanation will void this document. Use other side if necessary. \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_

Signature of Property Owner/Agent: \_\_\_\_\_ Date: \_\_\_\_\_

Revised 10/17 - Replaces all previous editions

# Proper Completion of the Official Waiver form

- Explain in **detail** what areas of the structure do not meet treatment standards and why it is not possible to meet these treatment standards.
- Also, attach a graph indicating the area(s) that were not treated to minimum standards. Failure to attach a graph and provide a **detailed** written explanation will void this document.

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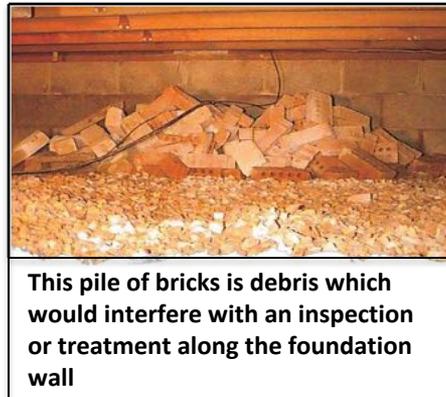
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\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature of Property Owner/Agent \_\_\_\_\_ Date \_\_\_\_\_

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- 620-6-.04 Control Measures. Amended.  
(1) (a) 1. Removal of all cellulosic material from underneath the building and removal of any other debris which would interfere with inspection or treatment in such area.



Most often, the debris needs to be removed, **not** Waivered



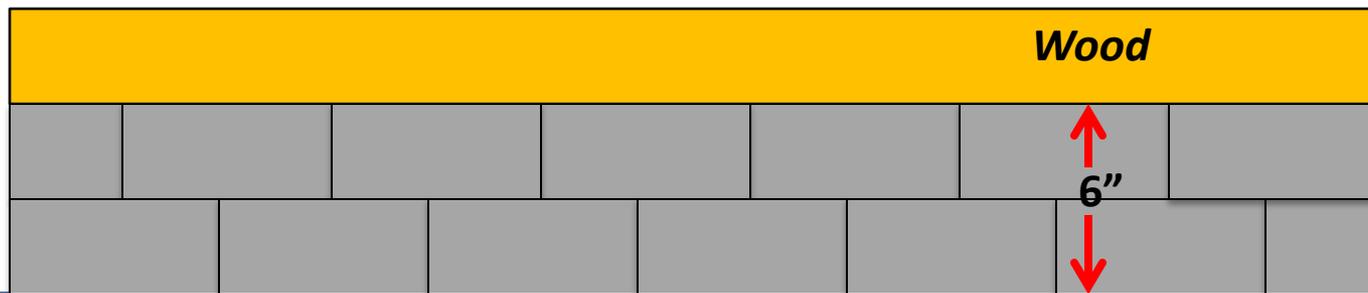
This debris needs to be removed, not Waived

- If a stump can't be removed from the crawl space and there is at least 12" space between the top of the stump and the structural wood above, I suggest that it be waived using the Official Waiver form.



You should consider treating the stump, if the termiticide you use is labeled for treating stumps.

- 620-6-.04 (1) (a) 2. Removal of all wooden contacts between buildings and outside soil, other than wooden supports which have been treated with preservatives to a minimum preservative retention designed for ground contact. The top of all supports for untreated wooden members shall be no closer than six (6) inches to the soil. In no case shall the minimum clearance between untreated wood and soil be less than six (6) inches.



*6" of air is required between wood & soil unless the wood had been treated for ground contact*

*Soil*



Wooden siding, porch columns, deck posts, and stairs are touching or within 6” of soil and must either be removed, properly insulated from soil, or alternatively  
**WAIVED**



If wooden deck posts are not stamped or plated to show they are treated for ground contact and they are embedded in concrete, they are considered wood-to-earth contacts and need to be either removed, properly insulated from soil, or alternatively WAIVED.



If wooden deck posts are not stamped or plated to show they are treated for ground contact and they are sitting on top of a concrete footing and there is at less than 6" of clearance between the wood and the soil, they need either to be removed, properly insulated from soil, or alternatively WAIVED.



This deck post is embedded in concrete and must either be removed, properly insulated from soil, or alternatively WAIVED



These deck posts and stair stringers are not treated for ground contact and are either resting on top of a footing and within 6" of the soil or are directly contacting the soil. They must either be removed, properly insulated from soil, or alternatively WAIVED



### Wooden fence touching structure

The wood attached to the house must either be moved or insulated from the house so that the wood of the fence is not touching the building or it is alternatively WAIVED.



### Wooden corner board within 6" of the soil

There are 4 options: replace the wooden corner board with a plastic one, dig soil away from under the corner board to provide proper clearance, pour a 6" x 6" slab under the corner board, or alternatively WAIVE it.



## Deck support touching soil

**The siding, corner boards, and deck support need either to be removed, to be properly insulated from soil, or alternatively WAIVED.**

**The fence needs to be cut off so that it is not touching the house or alternatively WAIVED.**



## Wooden steps touching and within 6'' of soil

**The wooden steps and stair stringers either need to be removed and replace with brick or concrete steps, properly insulated from soil, or alternatively WAIVED.**

**The lattice work and frame need either to be removed, properly insulated, or WAIVED.**

# ***Post construction Comprehensive soil treatment***



Wood fence post is touching building

The wood fence post touching the wall needs to be moved so that it is not touching the building, removed and replaced with a metal fence post, or alternatively WAIVED.



Wooden railroad ties are touching building

The railroad tie walls either need to be removed and replaced with block walls, moved so that they are not touching the building, or alternatively WAIVED.



Lattice work, deck posts, stairs, and stair railing of deck are touching or within 6" of soil outside

All wooden elements of deck and stairs need either to be removed, properly insulated from the soil, or alternatively WAIVED

**...and don't forget, we need to have access under the deck for treatment**



Wood crawl space door & door frame touching or within 6" of soil

The wood crawl space door & door frames need either to be removed and replaced with metal or plastic doors (we can sell them), properly insulated from the soil (provide at least 6" clearance), or alternatively WAIVED.



Wood crawl space door & door frame touching or within 6" of soil

The wood crawl space door & door frames need either to be removed and replaced with metal or plastic doors (we can sell them), properly insulated from the soil (provide at least 6" clearance), or alternatively WAIVED



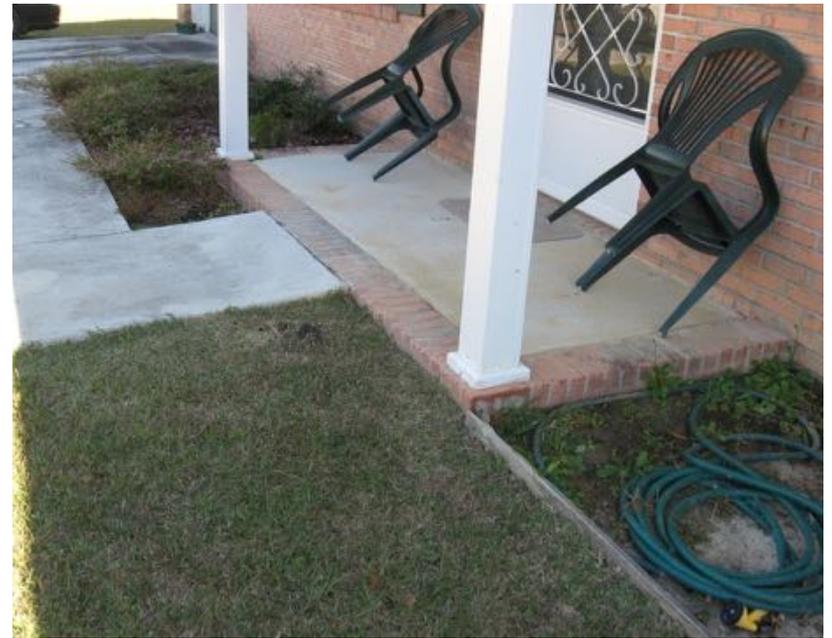
Wood deck posts, stairs and stair railings touching or within 6" of soil

All the wooden elements of the deck and stairs that are touching or within 6" of the soil need to be removed, properly insulated from soil (provide at least 6' clearance), or alternatively WAIVED

**Let's not forget that we must be able to get under the front porch to treat the soil adjacent to the exterior foundation wall**



Wooden columns or supports within  
6" of soil



Front porch columns touching or  
within 6" of soil

The wooden columns need either to be replaced by metal plastic or metal columns, properly insulated from soil, or alternatively WAIVED



Rear wooden decks and fence posts touching or within 6" of soil

These wooden decks are touching the ground and present a significant hazard for subterranean termite attack that may not be able to be solved without first experiencing termite damage to the structure.

What do you think the best option would be for each of these decks that don't permit treatment adjacent to the foundation wall?



Firewood piles are touching a wall of the structures

**DON'T WAIVE!** Ask the customer to move the firewood pile away from the wall before coming to perform the treatment or price the job to provide the extra labor so you can move the firewood pile



Wooden garage door frames are within 6" of the soil

The customer will generally not want to remove the wood door frame or properly insulate the wood from the soil by pouring a 6" x 6" slab. Just ask the customer to WAIVE these wood-to-earth contacts.



Wooden garage door frames touching or within 6" of the soil

The customer will generally not want to remove the wood door frame or properly insulate the wood from the soil by pouring a 6" x 6" slab. Just ask the customer to WAIVE these wood-to-earth contacts.



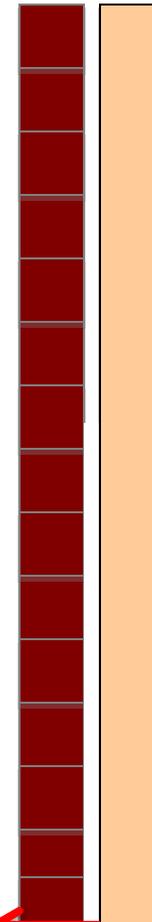
Wooden garage door frames touching or within 6" of the soil

The customer will generally not want to remove the wood door frame or properly insulate the wood from the soil by pouring a 6" x 6" slab. Just ask the customer to WAIVE these wood-to-earth contacts.

# Wood is closer to soil than 6", but it is insulated from soil and is not considered wood-to-earth contact

- This requirement shall apply only to those situations where **wood is exposed and by design is not separated from the outside soil line by anything other than air space.**
- Such clearance shall **not** apply to sill plates or other wooden members of a structure which may be physically closer to the earth than the required clearance but are by design enclosed by and insulated from the earth by brick, stucco or other construction material.

There is less than 6" between the wood base plate inside the home and the soil outside, but this is not considered wood less than 6", because it is insulated by brick



Soil outside

Monolithic slab

- 620-6-.04 (1) (a) 3. Removal of all wooden contacts between buildings and inside soil, other than those wooden supports which have been treated with preservatives to a minimum preservative retention designed for ground contact. In no case shall the minimum clearance between wood and soil in a crawl space be less than eighteen (**18**) inches.



Untreated wooden supports in crawl are touching or within 18” of the soil

These wooden supports must be removed and replaced with metal house supports, properly insulated from the soil, or alternatively WAIVED



There is wood debris in this crawl...but more importantly, there is less than 18” clearance between the wooden sill and some of the wooden floor joists & the soil in the crawl

Soil must be removed to provide at least 18” clearance between wood and soil or alternatively WAIVED



Wood debris is found in the crawl...but more importantly, there is less than 18" clearance between wood & soil in the crawl and it may be inaccessible for treatment. If not WAIVED, it would be a violation of the RULES and we would be required to "dig it out" to provide for 18" clearance between wood and soil.



Less than 18" clearance between wood & soil in the crawl

The customer will not want to replace the wooden supports with metal or concrete supports. Wood within 16" of soil in the crawl space will need to be WAIVED.

This wooden support needs to be replaced with a metal house support. It should **not** be WAIVED.

A red pushpin is pinned to the top center of the note.

**Know when to  
Walk Away**

- 620-6-.04 (1) (a) 4. Removal of all visible accessible termite tunnels.



# What 2 questions do you ask about termite tunnels?

Are the termite tunnels visible?

Are the termite tunnels accessible?



**If they are visible and accessible, they need to be removed!**

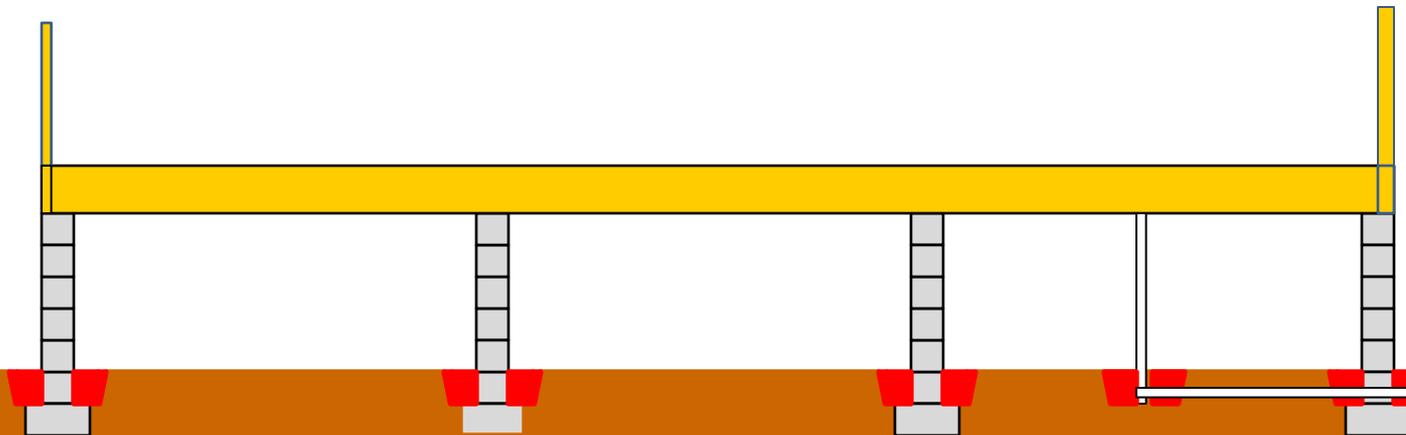
Perhaps it's best to “walk away” from selling this job!

Why?



Remember – you will need to remove all the termite tunnels that are visible & accessible or alternatively WAIVER them.

- 620-6-.04 (1) (a) 5. Trenching of soil along the outside and inside of foundation walls and around pillars and other supports to a minimum depth of six (6) inches, but not lower than the top of the footing in contact with the soil. Rodding may be performed from the bottom of the trench to lower depths as required. When the top of any footing is exposed and not in contact with the soil, trenching should not extend below the bottom of the footing.





If an object up against a foundation wall cannot be moved to trench the soil adjacent to it, it must be WAIVED and that area should be rodded or long-rodded instead of trenching or trenching & rodding.



If an object up against a foundation wall such as an AC unit cannot be moved to trench the soil adjacent to it, it must be WAIVED and that area should be rodded or long-rodded instead of trenching or trenching & rodding.



If the customer will not move or allow you to damage ivy or other ground cover adjacent to the exterior foundation wall when it trenches the soil adjacent to it, it must be WAIVED and that area should be rodged instead of trenching or trenching & rodging. Just make sure that you rod behind any shrubs that are close to the foundation wall.

# A low deck without access underneath it



This deck is too low to the ground to gain access underneath to be able to trench the soil that is beneath the deck

Could that present a problem?

If the customer won't remove one or two deck boards that are adjacent to the exterior foundation wall to allow proper trenching in the soil beneath it, a **Defined soil treatment may not be performed**. A Bait system treatment or a Comprehensive soil treatment may be performed. Proper trenching would need to be WAIVED for the Comprehensive soil treatment and that area treated by drilling through the deck boards adjacent to that wall and rodding the soil beneath it or by long-rodding the soil adjacent to that wall from the sides.

## Rule 620-11-.01 Treatment of Schools

- (1) Pesticide applications may be made to schools consistent with the following:
  - **(a)** All pesticide applications shall be made in a manner that minimizes the exposure of children or students to the pesticide.
  - **(b)** Pesticide application may be made to a room only if children or students are not expected to be present in the room for a minimum of three (3) hours after application. If the products label directions specify a longer reentry interval then the longer reentry interval shall apply except as specified in Rule 620-11-.01(1)(c).
  - **(c)** Insecticide baits and rodenticide baits in tamper-resistant containers or bait stations as well as botanical insecticides, insect growth regulators and insecticidal soaps may be applied at any time children or students are not present in a room. No reentry interval is required except if specified by the products label directions. These products may be applied to any open area or multi-purpose room if the area within ten (10) feet of the location is secured and no children or students are present within the secured area during the time of application.

# **Rule 620-11-.01 Treatment of Schools**

## **(continued)**

**(d)** Pesticide applications may be made to outdoor school grounds if children or students are not expected to be present within twenty (20) feet of the application site at the time of application except as specified in Rule 620-11-.01(1)(e). These areas must be clearly marked to discourage entry, and secured by a fence or other similar barrier stating the reentry interval. If the application site is not secured by a fence or other similar barrier, pesticide applications may be made to an outdoor school grounds only if children or students are not expected to be in the area for a minimum of three (3) hours after application. If the products label directions specify a longer reentry interval then the longer reentry interval shall apply except as specified in Rule 620-11-.01(1)(c). Such areas shall be clearly marked to discourage entry. All signs required by this section to discourage entry shall be consistent with the requirements of Rule 620-3-.02(1)(l) 2.

# Rule 620-11-.01 Treatment of Schools

## (continued)

- **(e)** Insecticide baits and rodenticide baits in tamper resistant containers or bait stations as well as botanical insecticides, insect growth regulators and insecticidal soaps may be applied to outdoor school grounds anytime children or students are not present in the area. No reentry interval is required except if specified by the products label directions.
- **(f)** All pesticide use dilutions must be prepared outside child or student occupied areas of buildings.
- **(g)** All contracts for pest control service and all services provided must be consistent with any published pest management policy of that school system or licensed child daycare facility.

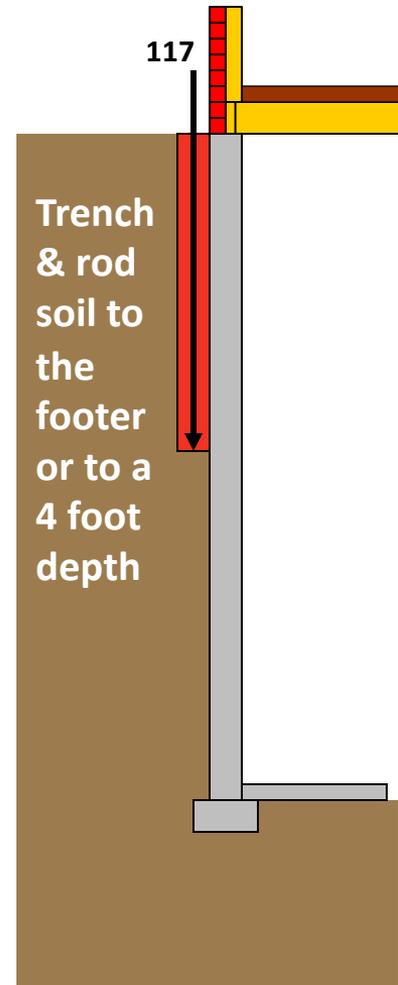
# Schools



# Treatment adjacent to the exterior foundation wall of a structure

- 6. (ii) Rate of application shall be four (4) gallons per ten (10) linear feet per foot of depth from the soil surface to the lesser of either the top of the footings or a depth of four (4) feet applied to the trenches and backfill.

Soil into which pipes extend from the structure, soil under expansion joints, and soil in any other critical point of potential termite entry must also be treated with the approved termiticide at the above application rate: expansion joints, bath trap areas and visible cracks in the floor that might permit entry.



- 6. (iii) Measures must be taken to prevent the back siphoning and the contamination of public water supplies during dilution and filling operations.



- If not using an Air-Gap method, attach backflow preventer to the faucet and screw the fill hose into a backflow preventer before placing the fill hose in the termite tank.

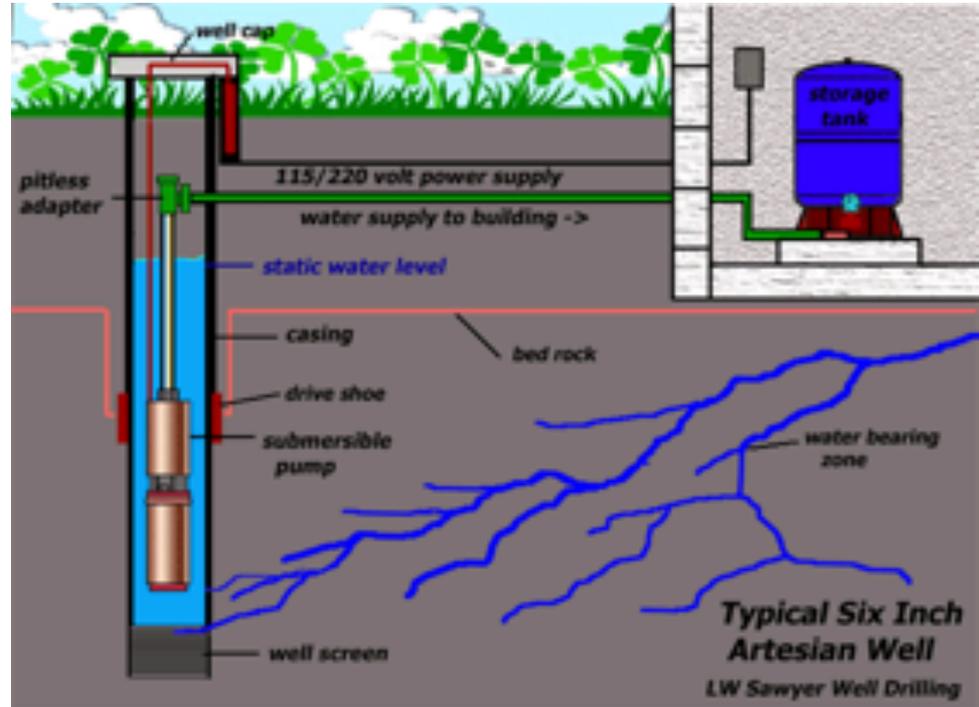


Your termite tank should use the Air-Gap method of backflow prevention.

- 6. (iii) continued. Do not apply pesticide while precipitation is occurring in any area where the application would be impacted by the precipitation.

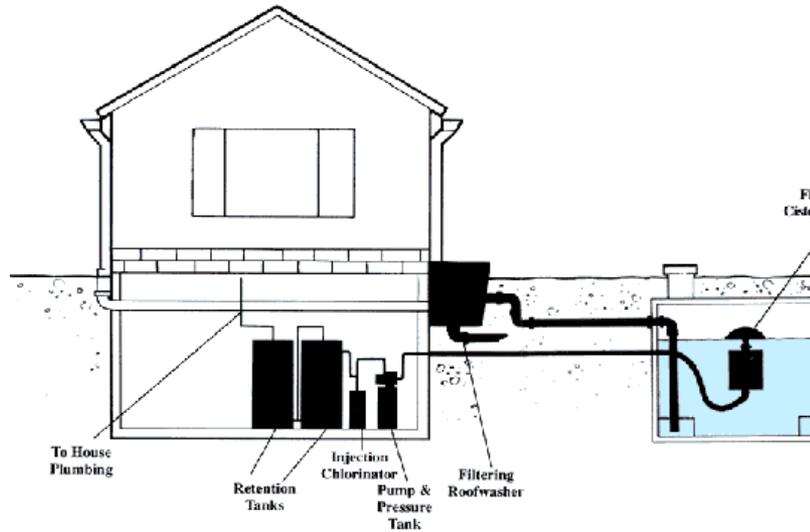


- 6. (iv.) Precautions must be taken to prevent contamination of wells or cisterns, in or close to the structure treated.

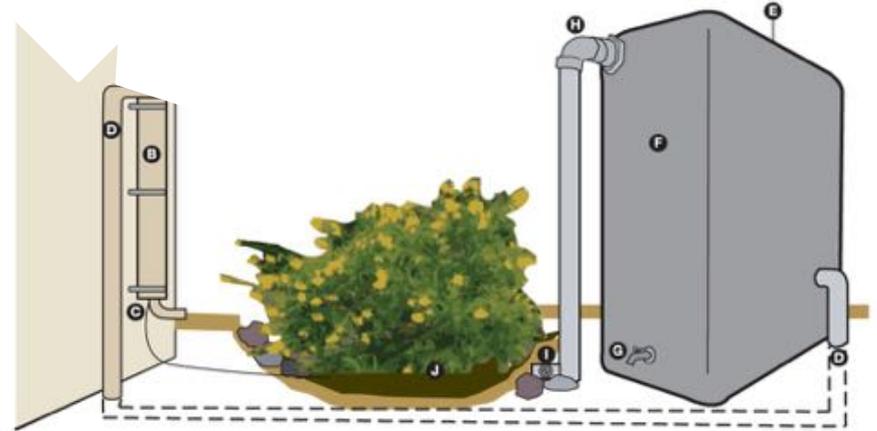


Ask the homeowners if they have a well or cistern at the home and be able to recognize a well house that has already been built.

# Can you recognize a cistern?



Below ground cistern



Above ground cistern

# **What do you do if you find there is a well or cistern on the property?**

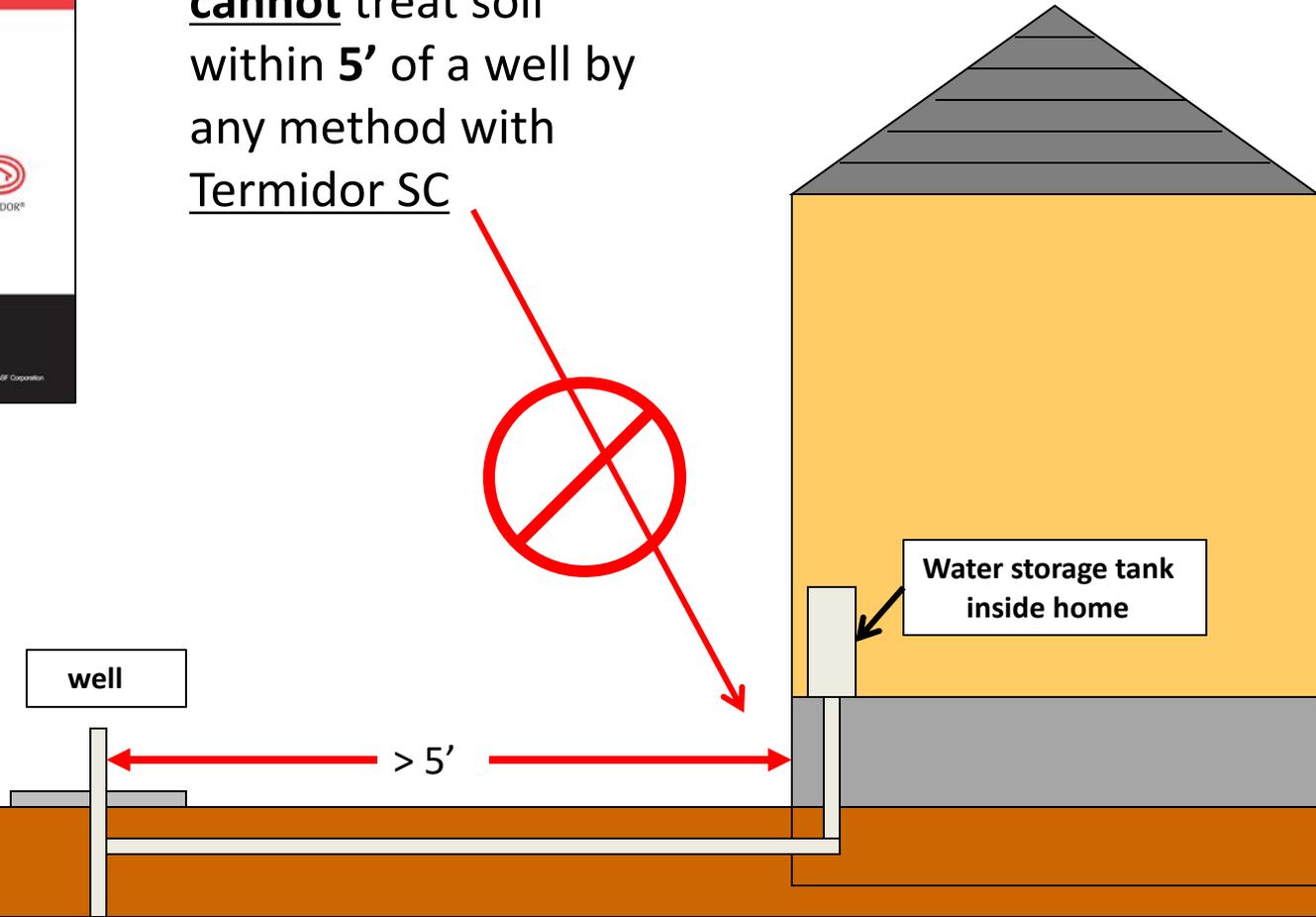
If arrive at the property and you determine that a well or a cistern is present on the property, call your service manager or branch manager before proceeding with the treatment.

If treatment is allowed to be performed, consult the label of the termiticide that you plan to use and follow its detailed instructions regarding treatment near a well or cistern.

# Let's look at the Termidor SC label



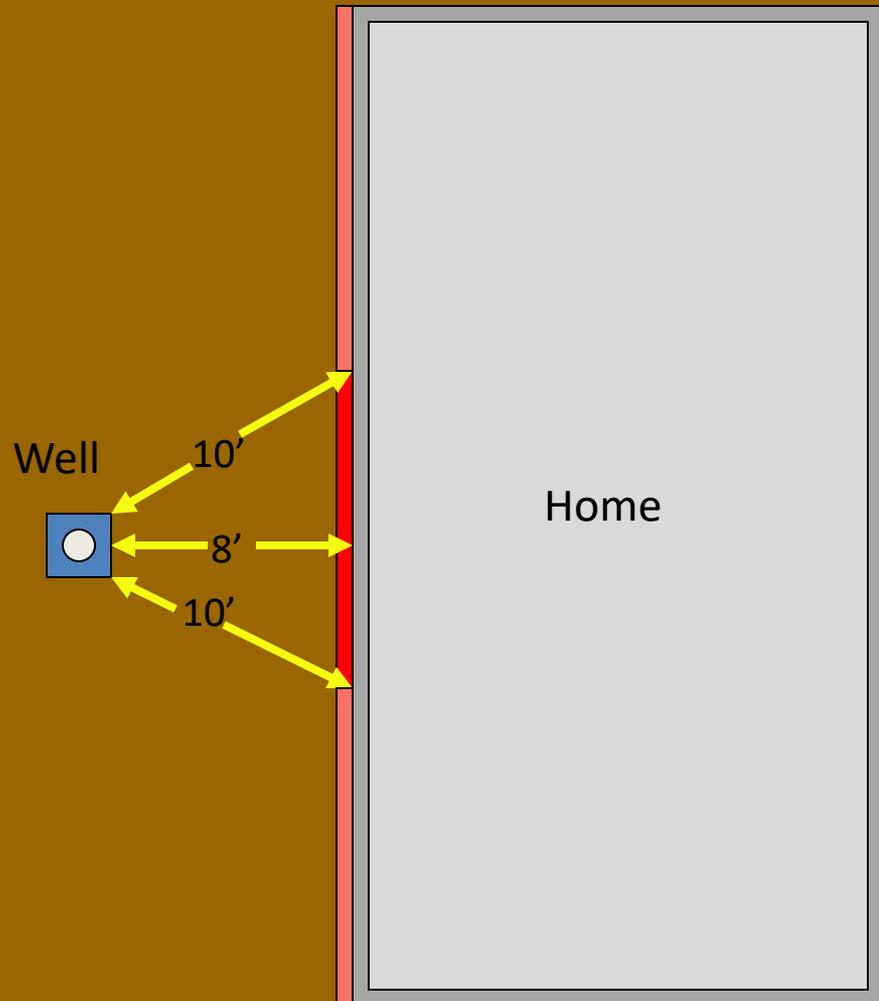
It states that you **cannot** treat soil within 5' of a well by any method with Termidor SC



# You must treat the soil within 5' of a well by the Excavation/Backfill method with Termidor SC

- If you treat the soil between 5' and 10' from the well, you must use the Excavation/Backfill method. 

- You should probably use the Excavation/Backfill method for at least 10 – 20 feet in either direction from the well. 



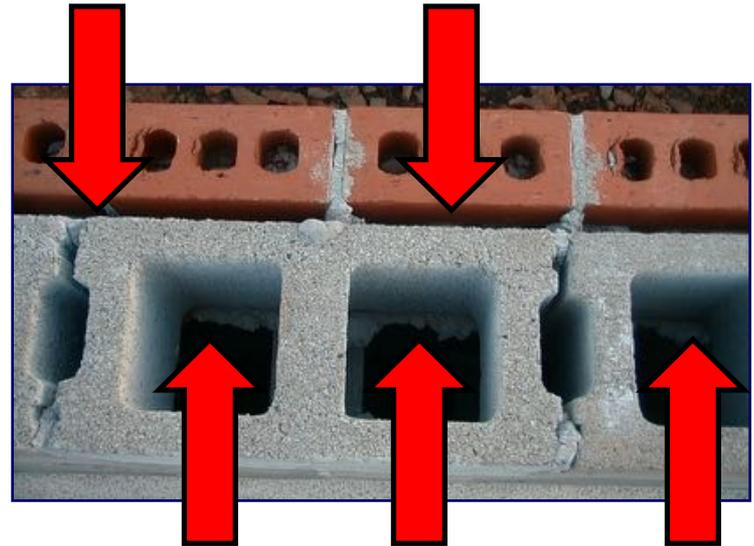
# Backfill Method



1. Trench and remove soil to be treated onto heavy plastic sheeting or similar material or into a wheelbarrow.
2. Treat soil at the rate of 4 gallons of 0.06%, 0.09% or 0.125% Termidor SC per 10 linear feet per foot of depth of the trench, or **1 gallon of 0.06%, 0.09% or 0.125% Termidor SC per 1.0 cubic foot of soil.** Mix thoroughly into the soil taking care to contain the liquid and prevent runoff or spillage.
3. After the treated soil has absorbed the Termidor SC finished dilution, return the soil into the trench.

- 7. The drilling of all brick, concrete block, or other type of cavity walls, chimneys, hollow pillars or other similar structure parts and the application of the approved termiticide at a rate of two (2) gallons per ten (10) linear feet. Drilling of concrete blocks or other hollow masonry parts shall be made into the large voids only, as opposed to the vertical mortar joints, at horizontal intervals of no more than twelve (12) inches.

**Drill the single brick of a brick veneer hollow block wall at 12" intervals or less**

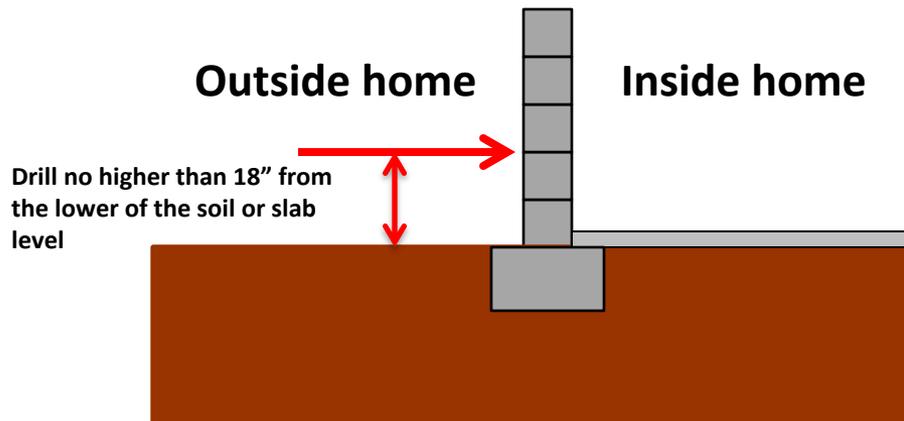


**Drill hollow block with 2 voids at 8" to 12" intervals in each block**

## **What do you do when the hollow block voids are filled with concrete?**

Try to drill a few holes in the voids of hollow block on each side of the structure. If they are filled with concrete on each side, use the Official Waiver form to WAIVE treatment of voids. State on the Official Waiver form that the voids of the hollow blocks are filled with concrete and you are unable to treat them.

- Application of the termiticide shall be made through drill holes no more than eighteen (**18**) inches above the lowest of soil or the slab surfaces contiguous to the opposite side of the vertical wall. In case of uncapped hollow parts, the termiticide may be applied through the top opening, provided the termiticide is released no higher than eighteen (**18**) inches above the top of the footing.



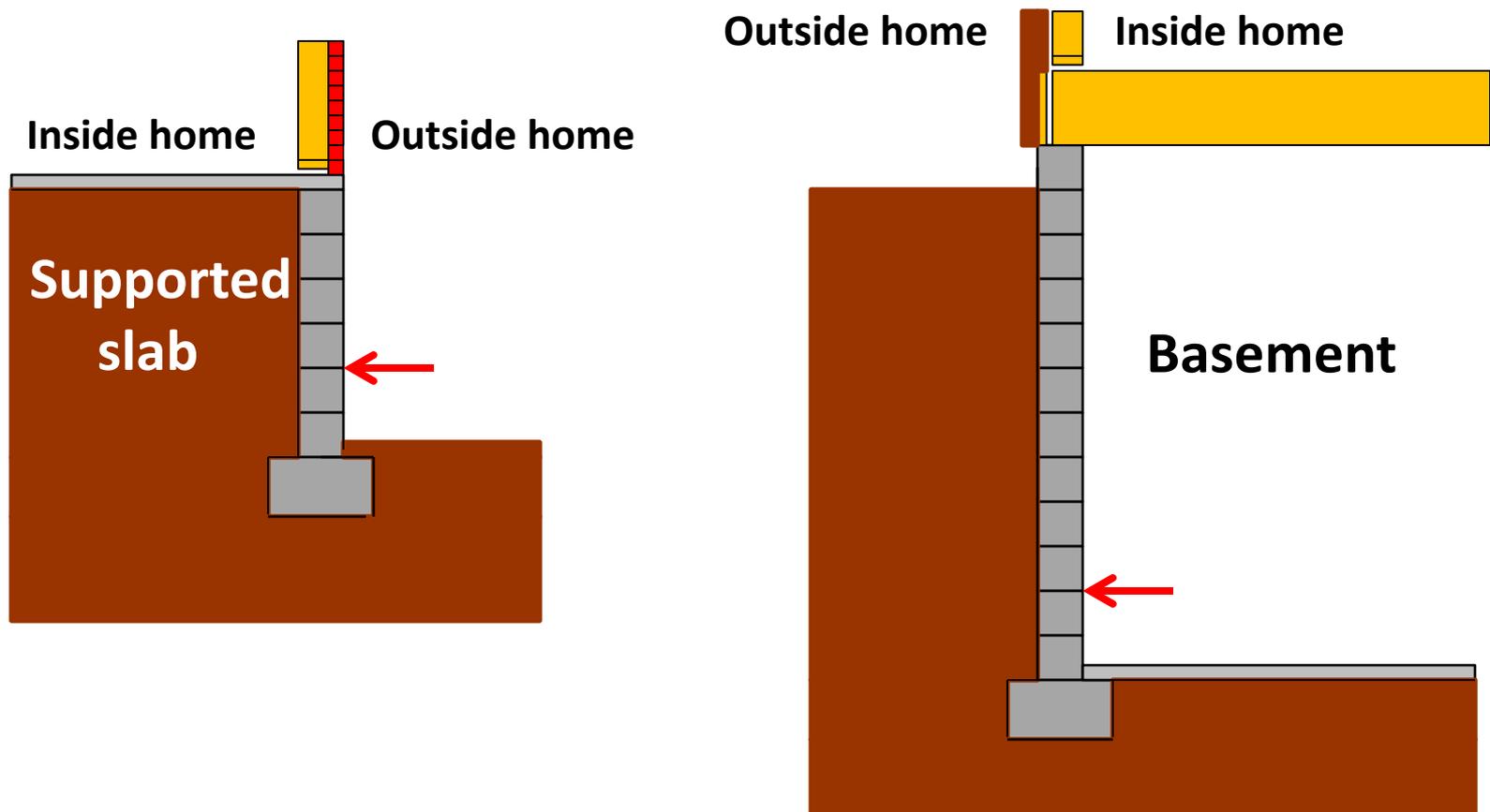
- Make sure that this slab is a floating or a supported slab and not a monolithic slab!

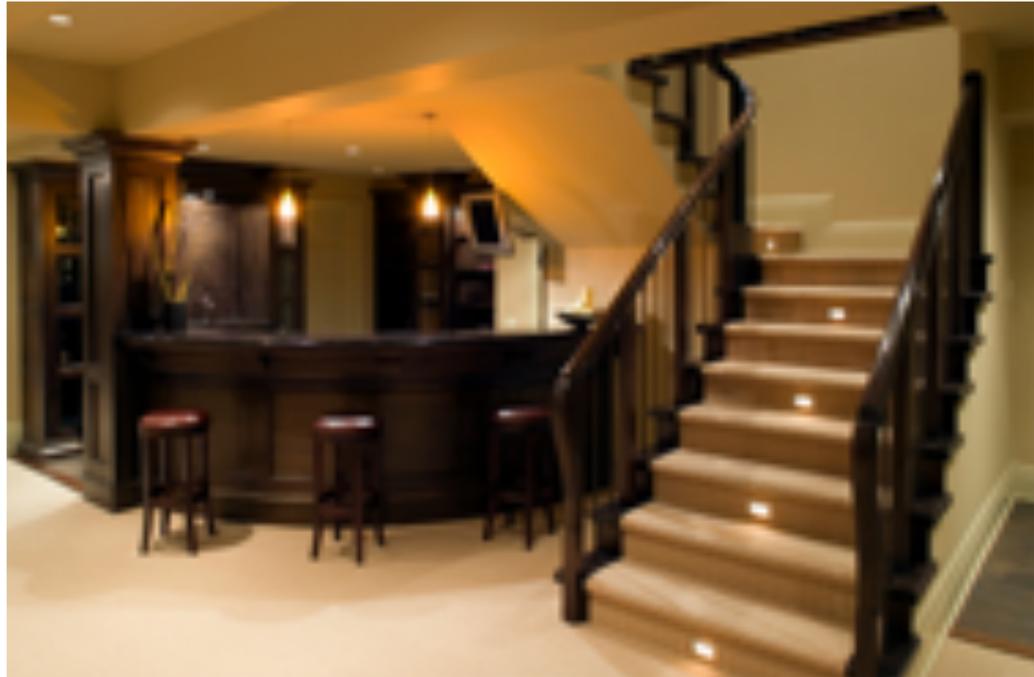
Why?



This is what happens when you drill a brick wall above the level of the monolithic slab...**a spill.**

**Drill into the voids at no higher than 18" above the lower of the soil or slab level adjacent to the wall**





If the customer will not allow you to drill the voids of a foundation wall (such as a hollow block basement wall) or it is impossible to drill and treat voids of the foundation wall within 18" of the lowest of the soil or slab surfaces contiguous to the opposite side of the vertical wall, this treatment standard must be WAIVED.



If you can't drill and treat the voids between the brick veneer and the block and of the hollow block foundation wall behind the AC unit within 18" of the soil, this treatment standard must be WAIVED.

If it is impossible to drill and treat voids of the foundation wall within 18" of the lowest of the soil or slab surfaces contiguous to the opposite side of the vertical wall, such as in this hollow block/brick veneer wall of this supported slab structure where the AC unit will not permit the proper void treatment, this treatment standard must be WAIVED.



**There is no more  
treatment standard  
for providing adequate ventilation  
in the crawl space  
for subterranean termite control!**

**Does that mean that I should no longer sell proper ventilation of the under floor space between the bottom of the floor joists and the earth that meets the requirements of the International Residential Building Code for one and two family dwellings, the latest edition as adopted and amended by the Georgia Department of Community Affairs?**

**NO...just because it is no longer a  
subterranean termite treatment requirement  
doesn't mean that you should stop selling  
adequate ventilation.**

**If they do not have adequate ventilation  
and they need it, sell it to them!**

- 620-6-.04 (1) (a) 8. Treatment of the entire inside perimeter walls of all earth filled porches beneath concrete slabs contiguous to the structure with an approved termiticide at the rate of four (4) gallons per ten (10) linear feet by one of the following:

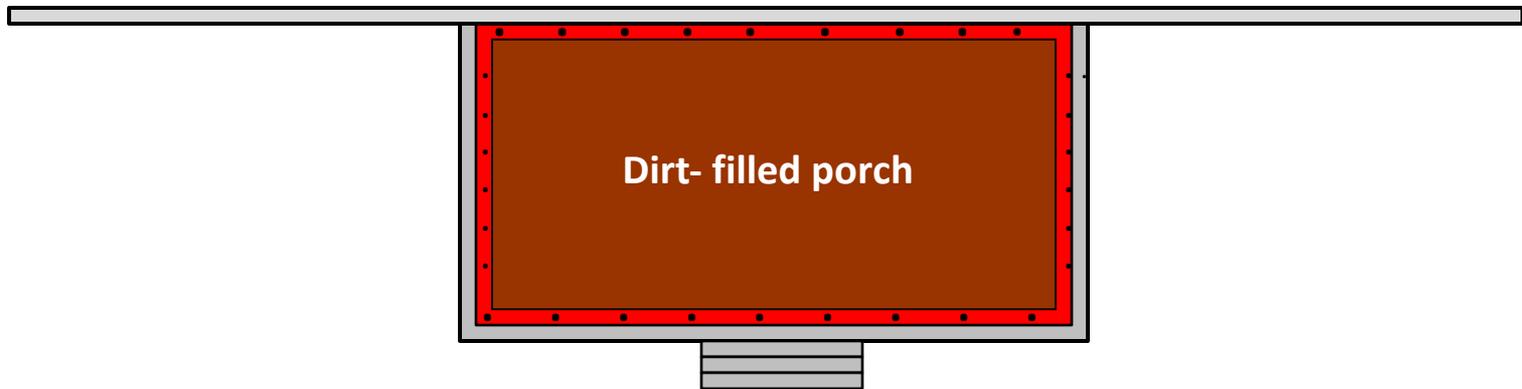
## Voiding the dirt-filled porch

- (i) Making access openings, by removing a six (**6**) inch band of soil along the entire inside perimeter walls and applying the termiticide in the trench.

- This standard was performed from the crawlspace when it only had to be performed on the side of the dirt-filled porch that was adjacent to the structure, but is practically never performed any more...as it would look unsightly on all 4 perimeter walls of the dirt-filled porch.

## Vertically drilling the slab from above

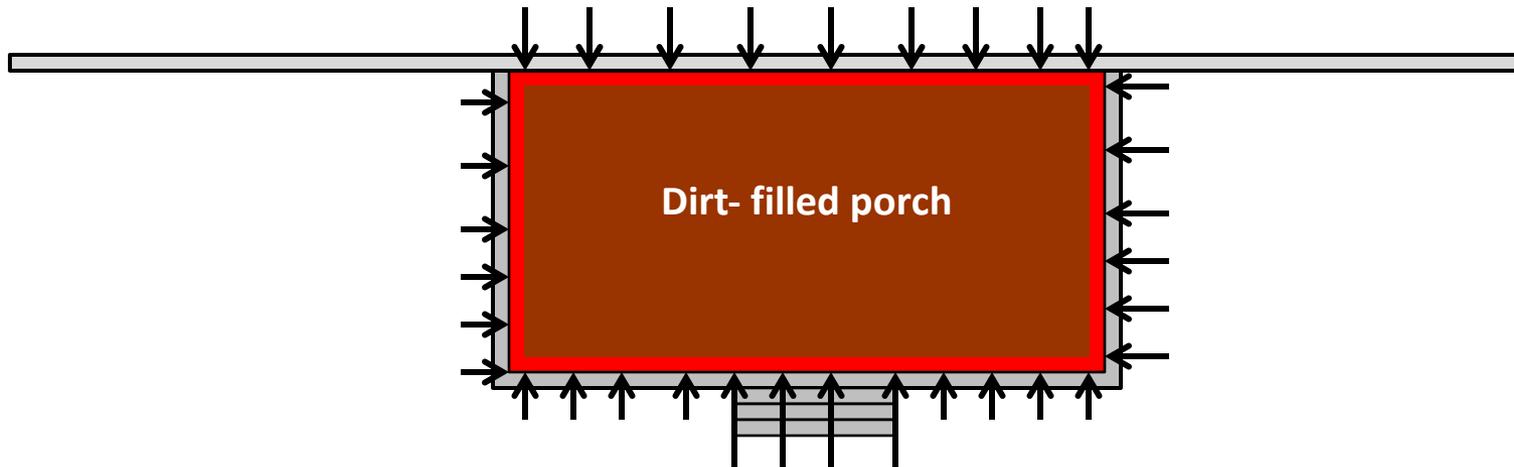
- (ii) Drilling from the top of the entire perimeter of the slab at intervals of no more than twelve (**12**) inches and no more than twelve (**12**) inches from the perimeter wall and applying the termiticide.



## Short-rodading the slab

Drilling through the foundation wall from the sides, about 1" below the slab level and treating the soil directly under the slab

- (iii) Drilling, rodding, and applying the approved termiticide from the inside of the foundation at no more than twelve (12) inch intervals along the entire inside perimeter and as close as possible to the lower edge of the slab.



# Long-rodding the slab

Drilling through the foundation wall within 1" of the slab along the inside of each foundation wall and treating soil under the slab adjacent to each of the perimeter walls

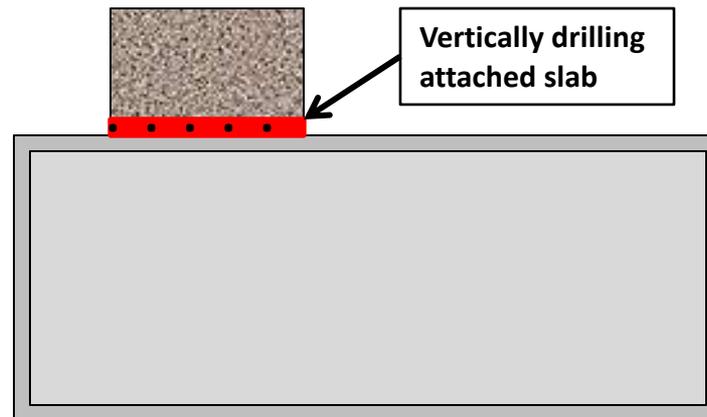
- (iv) Drilling, rodding, and applying the approved termiticide from the sides of the earth fill along the entire perimeter provided no horizontal rodding distance shall exceed twenty (20) feet.





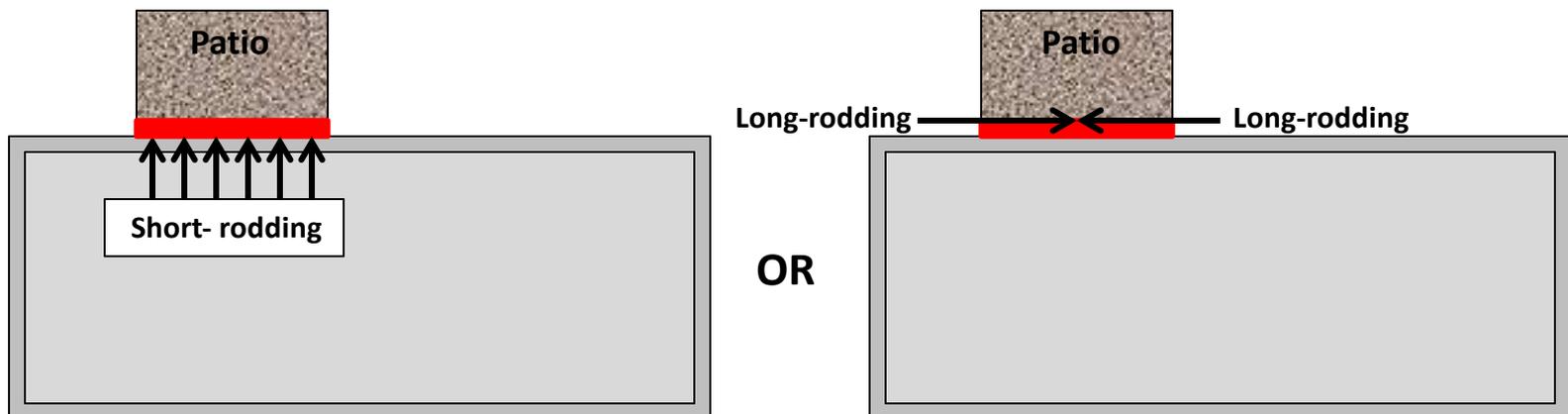
- What happens when the customer will not allow you to treat the entire inside perimeter walls of all earth filled porches beneath concrete slabs contiguous to the structure with an approved termiticide at the rate of four (4) gallons per ten (10) linear feet by one of the options allowed by the Rules?
- This standard, proper treatment of an earth-filled slab, must be **WAIVED**. The pest control company must decide what policy it has on offering any guaranty, retreatment or repair, on the structure.

- 620-6-.04 (1) (a) 9. Treatment of all grade level slabs contiguous to the structure with an approved termiticide at the rate of four (4) gallons per ten (10) linear feet by drilling and applying along the entire distance where the slab joins any part of structure at intervals of no more than twelve (12) inches and no more than twelve (12) inches from the structure wall.



# When unable to vertically drill & treat the soil beneath the slab, waive that treatment procedure and use one of the alternative treatment techniques.

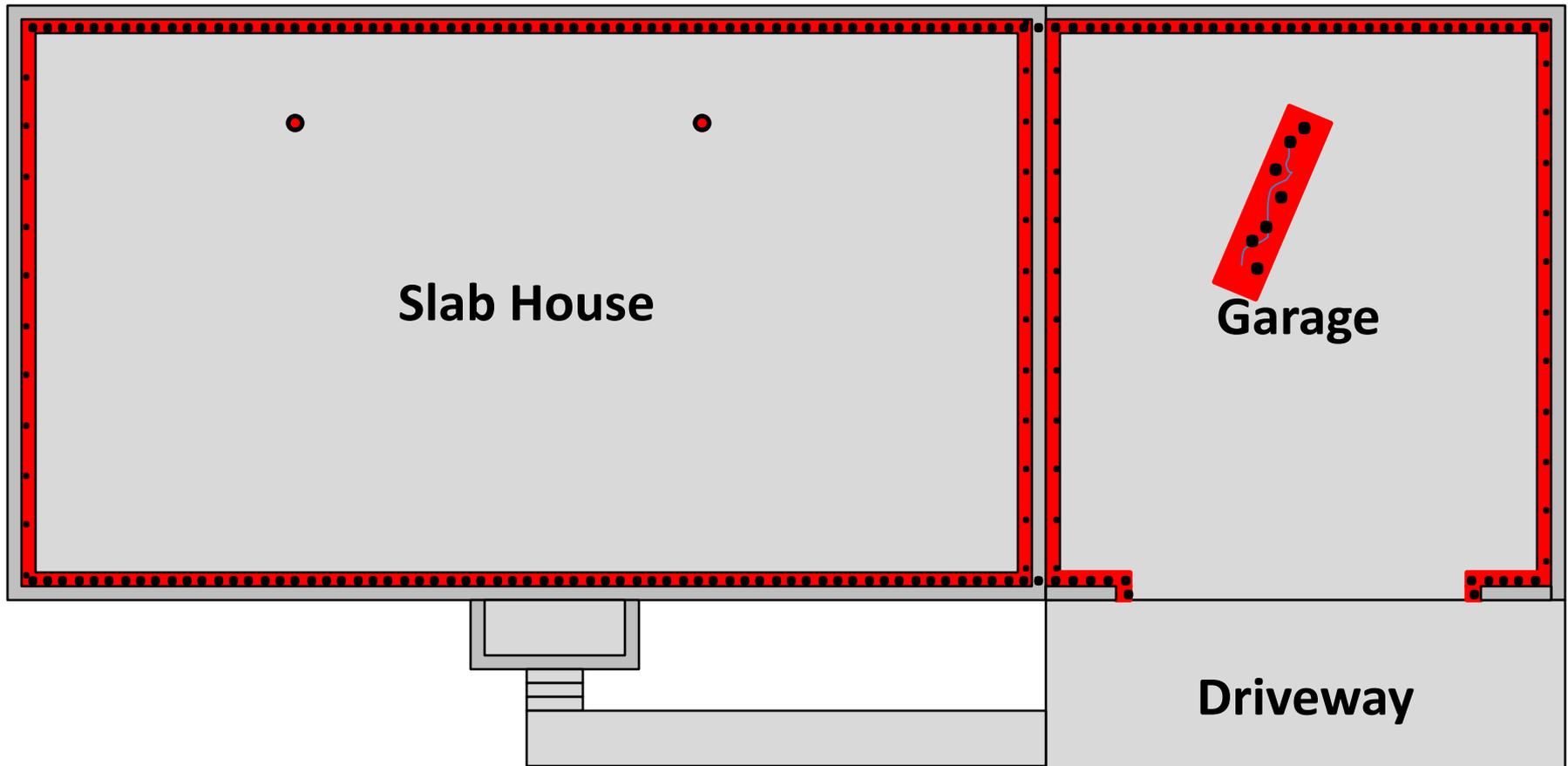
- If a customer will not allow you to drill and treat the grade level slab that is attached to the structure, **it must be WAIVED** and the soil area under the slab that is adjacent to the structure should be short-rodged from the crawl space or the basement or long-rodged from the outside.



10. Treatment of all structures with concrete slabs at or above grade level with an approved termiticide at a rate of four (4) gallons per ten (10) linear feet by one of the following:
  - (i) Treating from inside by drilling through from the top of the slab and applying the approved termiticide at intervals of no more than twelve (**12**) inches and no more than twelve (**12**) inches from the outside edge of the slab along the entire perimeter and at all other points of potential termite entry through the slab. After such application, all such holes shall be securely sealed to prevent any upward movement of the termiticide.

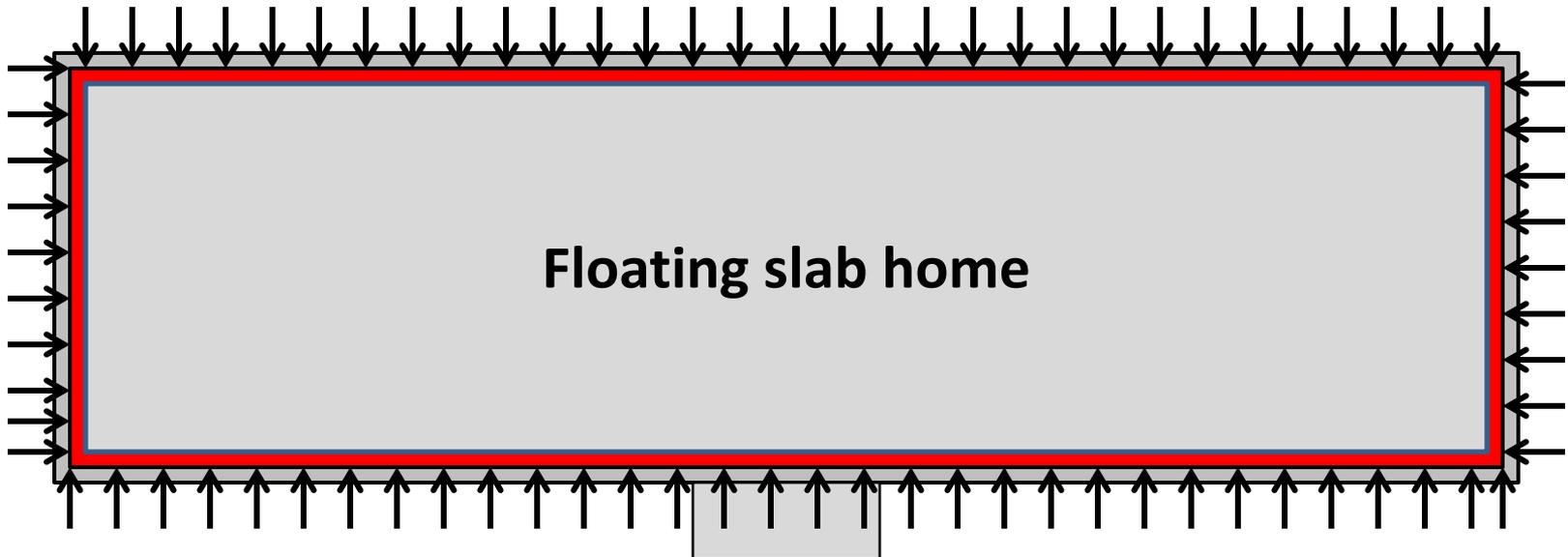
# Vertically drill and treat from the inside (expansion joints, cracks in the slab, and plumbing penetrations)

...usually only performed in garage & carports and on unfinished basement slabs near grade only



# Drilling through the exterior foundation wall and short-rod- ding from the outside

- (ii) Treating from the outside by rodding and applying termiticide along and under the entire perimeter of the slab by inserting the rod as close as possible to the lower edge of the slab.



- When a customer will not allow you to drill and treat any part or all of the concrete slabs at or above grade, this treatment standard must be WAIVED.
- The pest control company must decide what policy it has on offering any guaranty, retreatment or repair, on the structure.

- 11. Treatment of monolithic slabs by trenching and application of the approved termiticide to the soil along the entire perimeter of the slab at a rate of four (4) gallons per ten (10) linear feet and to any openings through the slab (bath traps, visible cracks in the slab and pipe penetrations).



# Monolithic slab treatment

Treatment of monolithic slabs by trenching and the application of the approved termiticide to the soil along the entire perimeter of the slab at a rate of four (4) gallons per ten (10) linear feet and to any openings through the slab.



- And what happens when you cannot trench adjacent to the exterior foundation wall of a monolithic structure or treat openings through the slab?
- You must WAIVE this treatment on the Official Waiver form.
- Sometimes this treatment is prevented by ivy, a deck against the exterior foundation wall that is too low to the ground (you can't gain access underneath it) or items against the exterior foundation wall that cannot be moved (AC unit, propane tank, etc.). You should follow your company's policy on treatment and standards for offering any guaranty, retreatment or repair of damage...and don't forget to WAIVE any required treatment standard that can't be performed.

- Comprehensive soil treatments are no longer performed on most homes. A Comprehensive soil treatment offers one advantage that a Defined soil treatment cannot offer...any treatment that cannot be performed may be WAIVED.
- Defined soil treatments with non-repellent termiticides offer the same degree of control at a cheaper price and take less than half the time to treat. Defined soil treatments are also less intrusive than Comprehensive soil treatments. However, not all homes can be treated with a Defined soil treatment. Remember...only 3 things can be WAIVED on the Official Waiver form when a Defined soil treatment:
  - **Wood within 6” of the soil on the outside**
  - **Wood within 18” of the soil on the inside of the crawl space**
  - **Cellulose debris in the crawl space**

If a treatment which requires a termiticide to be applied on a Defined soil treatment can't be performed, it cannot be WAIVED and the Defined soil treatment cannot be made. A Comprehensive soil treatment, with an Official Waiver form obtained on any treatment that can't be performed, or a bait treatment are 2 other treatment options.

**So...that's all folks!**



**I hope the information that I have provided you has given you a better understanding of how to perform a Comprehensive soil treatment.**